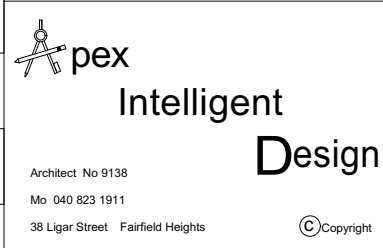


PROCTOR PARADE

3 Site Plan 1:200

Site Area	654.6	m2
Principle Dwelling	109.4	m2
Secondary Dwelling GFA	60	m2
Garage	17.6	m2
Total GFA	169.4	m2
FSR	0.258	

Total Landscaped	384	m2
% Landscapped	57.1%	



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38 Ligar Street Fairfield Heights

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Date	Amend

CONSTRUCTION NOTES:

Termite treatment.
Treatment will be provided for termite prevention in accordance with AS 3660 Termite Management.

Masonry
All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction

Timber Framing
All timber framing work shall comply with SAA HB39 HB44 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.

Steel Framing
All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.

Roof Cladding
Roof Cladding shall comply with SAA HB39 HB44 Guide to Timber Framing Code, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Roofing to AS 2050

Gutters and Downpipes
All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1

Wall Cladding
External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the NCC Glazing
All glazing and windows shall comply with AS 1170, SAA Loading Code, AS 1288 Glass in Buildings, and AS 2047 1996 Windows in Buildings - Selection and Installation.
Windows - To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation

Fire Smoke Alarms
Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of Vol 2 of NCC

Wet Areas
Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.

Stair Construction
All stairs shall comply with Cl. 3.9.1 of Vol2 of NCC.


General Notes
1 All dimensions & levels to be checked & verified on & or off site prior to commencement of any construction work.
2 Do not scale off the drawings, use figured dimensions.
3 All structural & hydraulic works to be as per engineer's details.
4 All work to be carried out in accordance with the National Construction, Standard Australia code & relevant by-laws
5 All workmanship to be carried out in a professional & tradesman like manner.
6 The plans are to be read in conjunction with Specifications and Council conditions
7 Contact designer if there are any inconsistencies
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Drawing Title:
Plans - Site

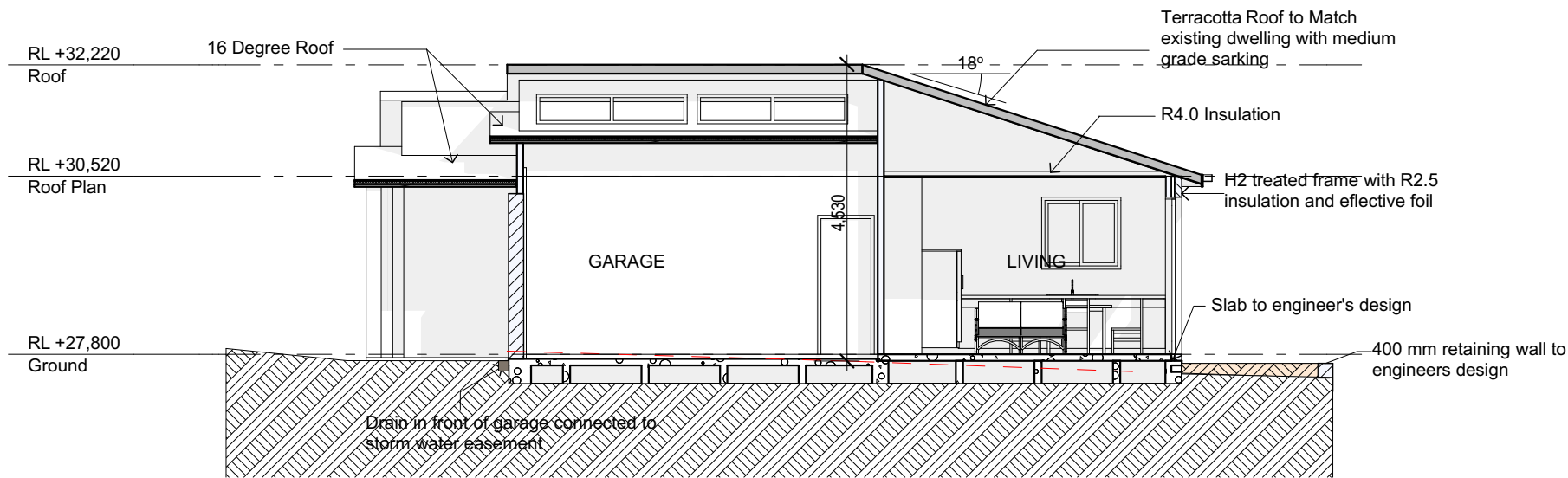
Proctor secondary dwelling
Client:Client Name
155 Proctor Parade Chester Hill 2162

Scale: as noted	Date: 07/0325
Status: DA REV 2	Checked By:
Project No: 20240407	Drawing No.: A-01.1



 <p>Architect No 9138 Mo 040 823 1911 38 Ligar Street Fairfield Heights</p> <p>© Copyright</p>	Date	Amend	CONSTRUCTION NOTES:		<p>Wall Cladding External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the NCC</p> <p>Roof Cladding Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Rooflining to AS 2050</p> <p>Masonry All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction</p>	<p>Timber Framing All timber framing work shall comply with SAA HB44 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.</p> <p>Steel Framing All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.</p>	<p>Fire Smoke Alarms Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of Vol 2 of NCC</p> <p>Wet Areas Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.</p> <p>Stair Construction All stairs shall comply with Cl. 3.9.1 of Vol2 of NCC.</p>	<p>General Notes</p> <ol style="list-style-type: none"> All dimensions & levels to be checked & verified on & or off site prior to commencement of any construction work. Do not scale off the drawings, use figured dimensions. All structural & hydraulic works to be as per engineer's details. All work to be carried out in accordance with the National Construction, Standard Australia code & relevant by-laws All workmanship to be carried out in a professional & tradesman like manner. The plans are to be read in conjunction with Specifications and Council conditions Contact designer if there are any inconsistencies The plans are not to be used for construction unless released by the designer 	<p>Drawing Title:</p> <p>Plans - Ground Floor Plan</p> <p>Proctor secondary dwelling</p> <p>Client: Client Name</p> <p>155 Proctor Parade Chester Hill 2162</p>		
									Scale: as noted	Date: 07/0325	
									Status: DA REV 2	Checked By:	
									Project No:	Drawing No.:	
									20240407	A-02.2	
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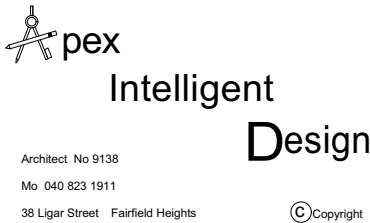
200
150
100
60
40
30
20
10
length in millimeters at full size



3

Section 2

1:100



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Date	Amend

CONSTRUCTION NOTES:

Termite treatment.
Treatment will be provided for termite prevention in accordance with AS 3660 Termite Management.

Masonry
All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction

Timber Framing
All timber framing work shall comply with SAA HB39 HB44 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.

Steel Framing
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Roof Cladding
Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Roofing to AS 2050

Gutters and Downpipes
All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1

Wall Cladding
External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the NCC
Glazing
All glazing and windows shall comply with AS 1170, SAA Loading Code, AS 1288 Glass in Buildings, and AS 2047 1996 Windows in Buildings - Selection and Installation.
Windows
To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation

Fire Smoke Alarms
Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of Vol 2 of NCC

Wet Areas
Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.

Stair Construction
All stairs shall comply with Cl. 3.9.1 of Vol2 of NCC.

General Notes
1 All dimensions & levels to be checked & verified on & or off site prior to commencement of any construction work.
2 Do not scale off the drawings, use figured dimensions.
3 All structural & hydraulic works to be as per engineer's details.
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5 All workmanship to be carried out in a professional & tradesman like manner.
6 The plans are to be read in conjunction with Specifications and Council conditions
7 Contact designer if there are any inconsistencies
8 The plans are not to be used for construction unless released by the designer

Drawing Title: Sections - Sections	
Proctor secondary dwelling Client:Client Name 155 Proctor Parade Chester Hill 2162	
Scale: as noted	Date: 07/0325
Status: DA REV 2	Checked By:
Project No: 20240407	Drawing No.: A- 03

100 length in millimeters at full size 150 200

200

150

100
length in millimeters at full size

60

40

30

20

10



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Architect No 9138

Mo 040 823 1911

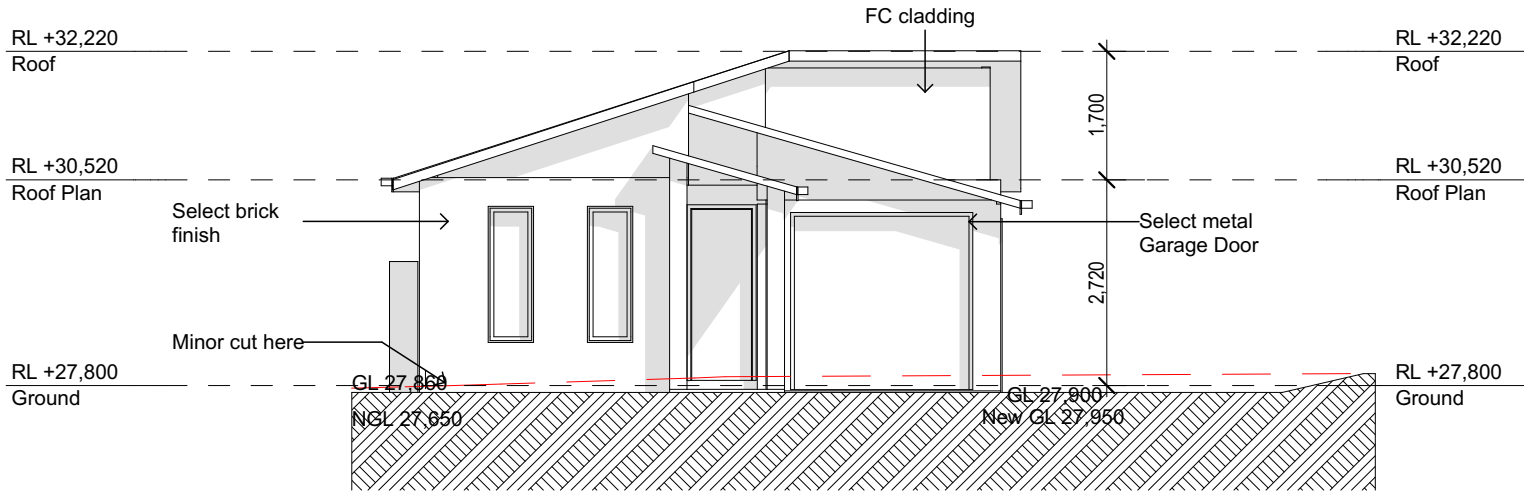
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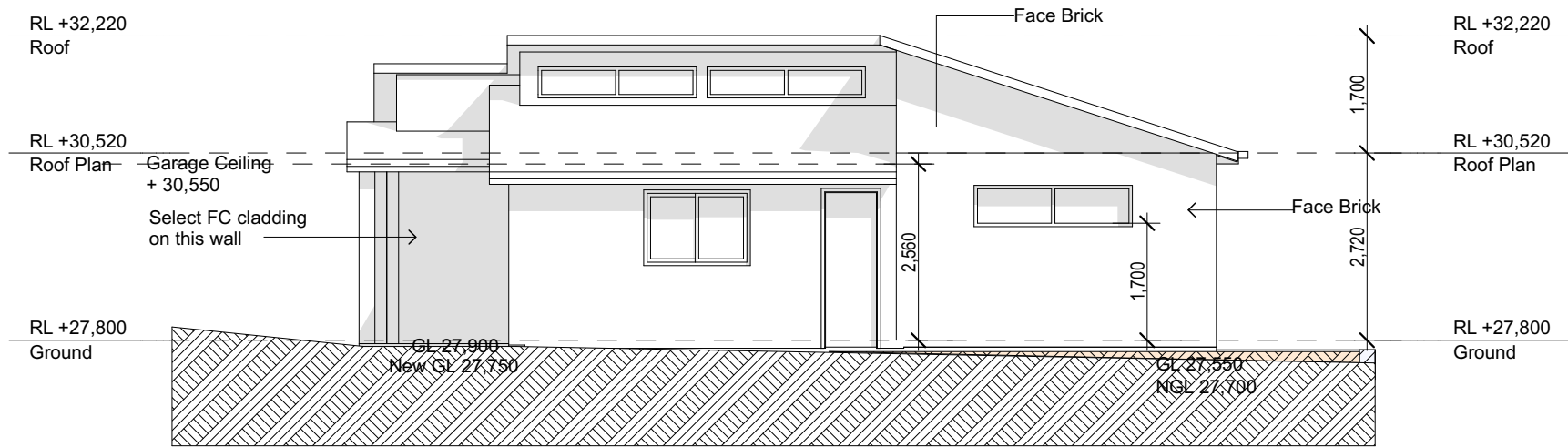
Date	Amend

CONSTRUCTION NOTES:									
Termite treatment. Treatment will be provided for termite prevention in accordance with AS 3660 Termite Management.		Timber Framing All timber framing work shall comply with SAA HB39 HB44 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.	Roof Cladding Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Rooftilting to AS 2050	Wall Cladding External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the NCC Glazing All glazing and windows shall comply with AS 1170, SAA Loading Code, AS 1288 Glass in Buildings, and AS 2047 1996 Windows in Buildings - Selection and Installation.	Fire Smoke Alarms Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of Vol 2 of NCC	General Notes 1 All dimensions & levels to be checked & verified on & or off site prior to commencement of any construction work. 2 Do not scale off the drawings, use figured dimensions. 3 All structural & hydraulic works to be as per engineer's details. 4 All work to be carried out in accordance with the National Construction, Standard Australia code & relevant by-laws 5 All workmanship to be carried out in a professional & tradesman like manner. 6 The plans are to be read in conjunction with Specifications and Council conditions 7 Contact designer if there are any inconsistencies 8 The plans are not to be used for construction unless released by the designer		Drawing Title: Elevations - Elevations 1	
Masonry All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction		Steel Framing All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.	Gutters and Downpipes All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1	Windows Windows - To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation	Wet Areas Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.	Status: DA REV 2		Checked By:	
					Stair Construction All stairs shall comply with Cl. 3.9.1 of Vol2 of NCC.	Project No: 20240407		Drawing No.:	A- 04

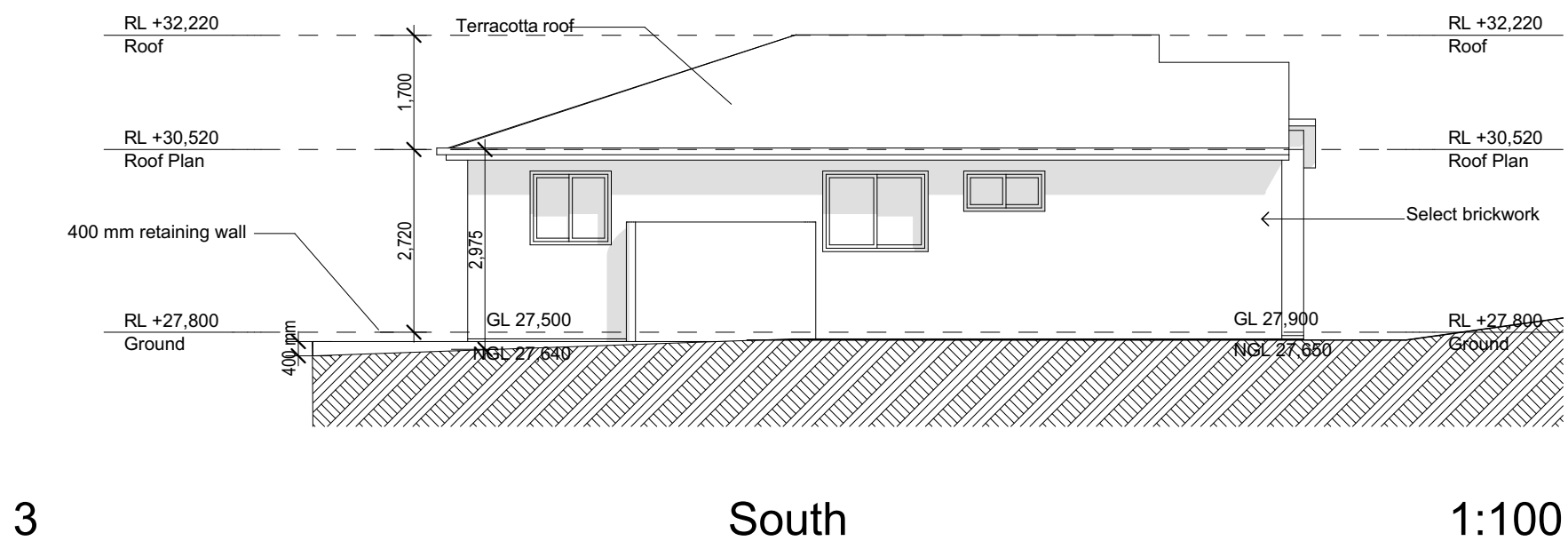
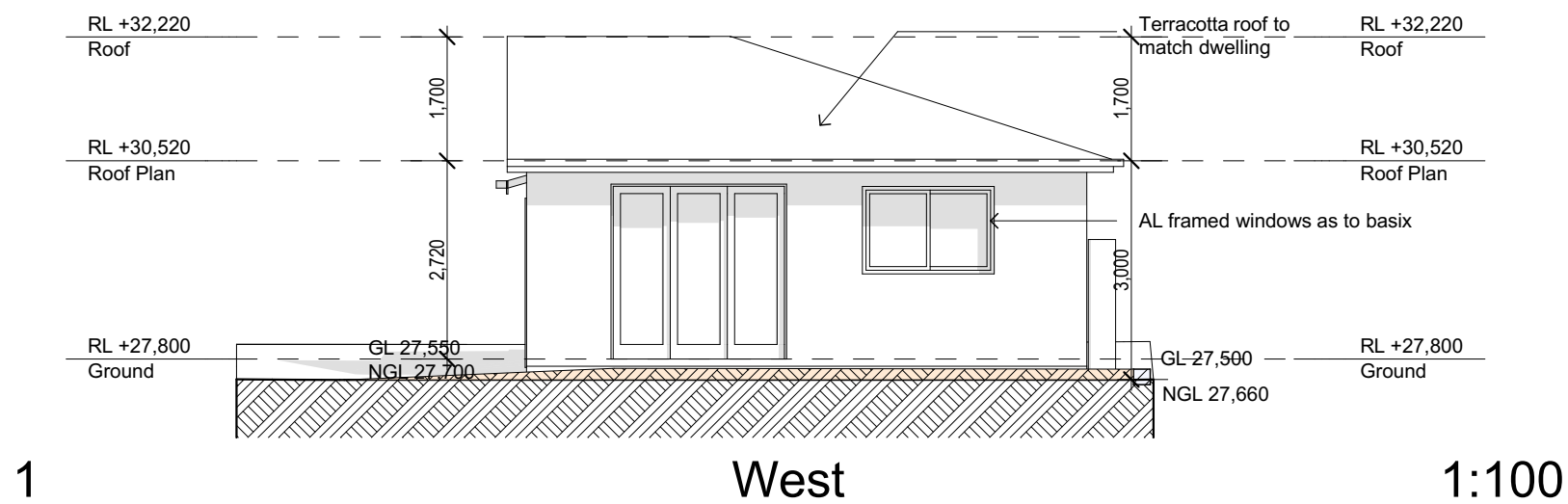
100 length in millimeters at full size 150 200




1 East 1:100



3 North 1:100



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	10	20	30	40	50			
						100	length in millimeters at full size	
						150		
						200		

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. It is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 07 March 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary			
Project name	Proctor Secondary dwelling_02		
Street address	155 PROCTOR Parade CHESTER HILL 2162		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	Deposited Plan DP35586		
Lot no.	1		
Section no.	-		
Project type	dwelling house (detached) - secondary dwelling		
No. of bedrooms	2		
Project score			
Water	✔ 41		Target 40
Thermal Performance	✔ Pass		Target Pass
Energy	✔ 70		Target 68
Materials	✔ -10		Target n/a

Certificate Prepared by	
Name / Company Name:	JOHN KECHAGIAS
ABN (if applicable):	

Description of project

Project address	
Project name	Proctor Secondary dwelling_02
Street address	155 PROCTOR Parade CHESTER HILL 2162
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan DP35586
Lot no.	1
Section no.	-
Project type	
Project type	dwelling house (detached) - secondary dwelling
No. of bedrooms	2
Site details	
Site area (m²)	655
Roof area (m²)	60
Conditioned floor area (m²)	55.0
Unconditioned floor area (m²)	5.0
Total area of garden and lawn (m²)	58
Roof area of the existing dwelling (m²)	124
Number of bedrooms in the existing dwelling	3

Assessor details and thermal loads	
NatHERS assessor number	n/a
NatHERS certificate number	n/a
Climate zone	n/a
Area adjusted cooling load (MJ/ m²/year)	n/a
Area adjusted heating load (MJ/ m²/year)	n/a
Project score	
Water	✓ 41 Target 40
Thermal Performance	✓ Pass Target Pass
Energy	✓ 70 Target 68
Materials	✓ -10 Target n/a

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 96 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.	5	2.50 (or 3.00 including construction)fibreglass batts or roll	nil	wall colour: Medium (solar absorptance 0.48-0.7)
internal wall shared with garage: plasterboard; frame: timber - untreated softwood.	22	nil/none	nil	
internal wall: plasterboard; frame: timber - H2 treated softwood.	40	none	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	60	ceiling: 5.7 (up), roof: foil/ sarking; ceiling: fibreglass batts or roll; roof: fishbaking	nil	roof colour: medium (solar absorptance 0.48-0.55); 1.0 to < 1.5% of ceiling area uninsulated.

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCR Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCR Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCR Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.	✓	✓	✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pool slab.	60	nil/not specified	nil	
garage floor - concrete slab on ground, waffle pool slab.	18	none	nil	
external wall: brick veneer; frame: timber - H2 treated softwood.	70	2.48 (or 3.00 including construction)fibreglass batts or roll	nil	wall colour: Medium (solar absorptance 0.48-0.7)

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
The applicant must install at least one ceiling fan in each bedroom.	✓	✓	✓
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
W01	1100.00	1550.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	eave 400 mm, 100 mm above head of window or glazed door	not overshadowed
W09	350.00	2300.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	eave 400 mm, 100 mm above head of window or glazed door	not overshadowed
W10	350.00	2300.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	eave 400 mm, 100 mm above head of window or glazed door	not overshadowed
East facing					

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W07	1800.00	610.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	none	not overshadowed
W08	1800.00	610.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	none	not overshadowed
South facing					
W04	1100.00	1200.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	eave 400 mm, 100 mm above head of window or glazed door	not overshadowed
W05	1200.00	1570.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	eave 400 mm, 100 mm above head of window or glazed door	not overshadowed
W06	600.00	1210.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	eave 400 mm, 100 mm above head of window or glazed door	not overshadowed
West facing					
W02	2400.00	2400.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	eave 400 mm, 100 mm above head of window or glazed door	not overshadowed
W03	1200.00	1810.00	aluminium, single glazed (U-value: <=4.5, SHGC: 0.49 - 0.60)	eave 400 mm, 100 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 26 to 30 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: EER 2.5 - 3.0		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: EER 2.5 - 3.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: EER 2.5 - 3.0		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, open to façade; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, open to façade; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

Date	Amend

CONSTRUCTION NOTES:

Termite treatment.
Treatment will be provided for termite prevention in accordance with AS 3660 Termite Management.

Masonry
All masonry work shall comply with AS 3700 Masonry Code, AS/NZS 2904 Damp-proof course & Flashings, and AS 2975 Accessories for Masonry Construction

Timber Framing
All timber framing work shall comply with SAA HB44 Guide to Timber Framing Code, AS 1684 National timber Framing Code, and AS 1720 Timber Structures Code.

Steel Framing
All steel framing shall comply with AS 1170 Minimum design loads on structures, and AS 3623 Domestic Metal Framing.

Roof Cladding
Roof Cladding shall comply with SAA HB39 Code of Common Practice for Steel Roofing, AS 1562 Design and Installation of Sheet Roof & Wall Cladding, and AS 4285 Skylights. Roofletting to AS 2050

Gutters and Downpipes
All gutters and downpipes shall comply with AS/NZS 3500.3.2 Stormwater Drainage, and AS/NZS 1979.1

Wall Cladding
External Fibre Cement cladding shall comply with AS/NZS 2908.2 or ISO 8336 and will be installed so as to comply with Cl. 3.5.3 of the NCC
Glazing
All glazing and windows shall comply with AS 1170, SAA Loading Code, AS 1288 Glass in Buildings, and AS 2047 1996 Windows in Buildings - Selection and Installation.
Windows
Windows - To comply with BCA 3.9.2.5 Protection of openable windows and BCA 3.8.4 Lighting to habitable rooms and BCA 3.8.5.2 Ventilation

Fire Smoke Alarms
Smoke Alarms comply with AS 3786 and shall be situated in locations so as to comply with Cl. 3.7.2 of Vol 2 of NCC

Wet Areas
Wet areas shall be waterproofed so as to comply with AS3740 Waterproofing of wet areas within residential buildings.

Stair Construction
All stairs shall comply with Cl. 3.9.1 of Vol 2 of NCC.

General Notes
1 All dimensions & levels to be checked & verified on & or off site prior to commencement of any construction work.
2 Do not scale off the drawings, use figured dimensions.
3 All structural & hydraulic works to be as per engineer's details.
4 All work to be carried out in accordance with the National Construction, Standard Australia code & relevant by-laws
5 All workmanship to be carried out in a professional & tradesman like manner.
6 The plans are to be read in conjunction with Specifications and Council conditions
7 Contact designer if there are any inconsistencies
8 The plans are not to be used for construction unless released by the designer

Drawing Title:
Plans - Basix
Proctor secondary dwelling
Client:Client Name
155 Proctor Parade Chester Hill 2162

Scale: as noted

Date: 07/03/25

Status: DA REV 2

Checked By:

Project No:

20240407

Drawing No.:

A-06